



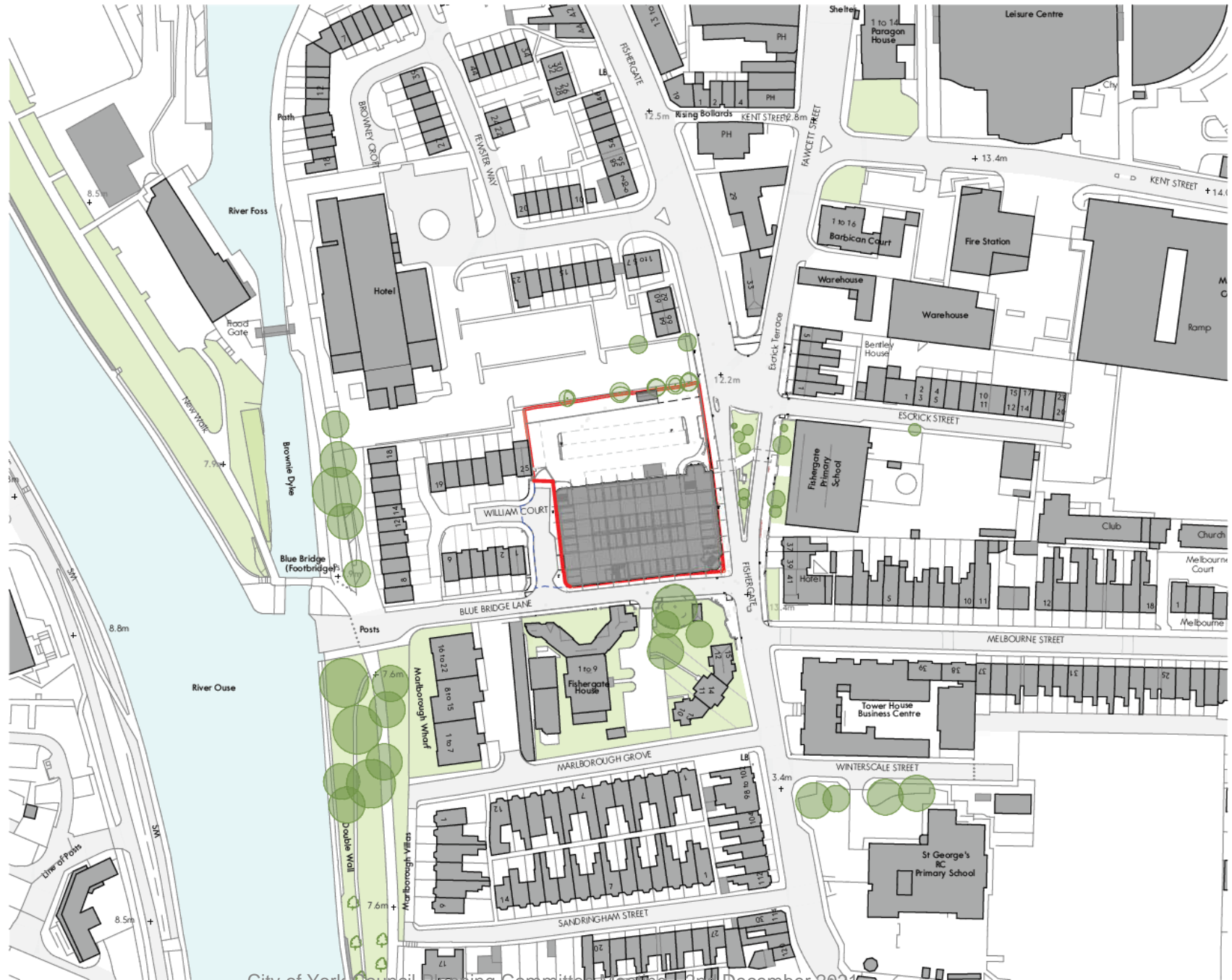
# Planning Committee

To be held on Thursday 2<sup>nd</sup> December 2021

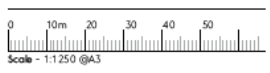
# 21/01605/FULM - Mecca Bingo, 68 Fishergate, York

Demolition of existing buildings and redevelopment of the site to form 275no. room purpose built student accommodation with associated car parking, landscaping and facilities

# Site Location Plan



This drawing is the property of GWP Architecture. Copyright is reserved by them and the design is issued on the condition that it is not to be reproduced, copied, or altered in any way without the prior written consent of GWP Architecture. All drawings and specifications shall be read in conjunction with the project brief and any previous drawings. No work is to be carried out in accordance with current Building Regulations. Contractors must verify all dimensions and the job before commencing any work or making any drawings. Do not scale dimensions from this drawing. Any discrepancies to be reported to the Architect.



Rev	Date	Comment	Dr	Ch
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final Issue	DE	DT



CHARTERED ARCHITECTS  
REGISTERED DESIGNERS  
REGISTERED PLANNERS  
REGISTERED BUILDING SURVEYORS  
REGISTERED LANDSCAPE ARCHITECTS

Red Lion House, Usher Low, Levels 21-22  
4400113 306 0066(0) | 4400113 306 1009  
architects@gwp-arch.co.uk | www.gwp-arch.com

Job Title: (45)12101

Rialto House, Fishergate, York

Client: **OLYMPIAN**

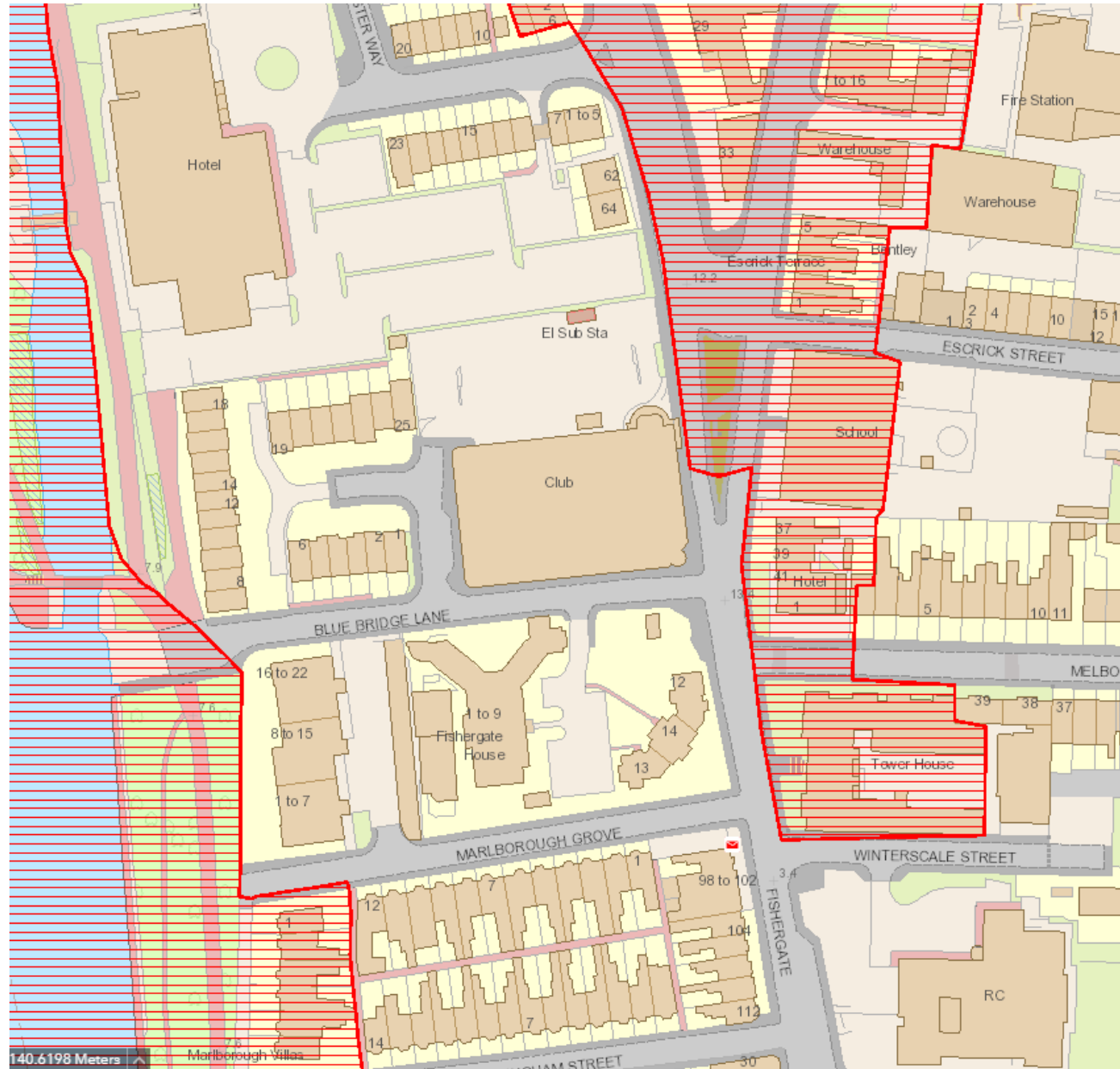
Location Plan

Name	2101-GWP-01-XX-DR-A-(PA)-0001
Scale	1:1250@A3
Revision	PA02
Drawn/Checked	DE/DT
Final Issue	18.06.21
Drawing Status	D - Planning

This drawing is the property of GWP Architecture. Copyright is reserved by them and the design is issued on the condition that it is not to be reproduced, copied, or altered in any way without the prior written consent of GWP Architecture.



# Illustration of surrounding Conservation Areas





Blue Bridge Lane



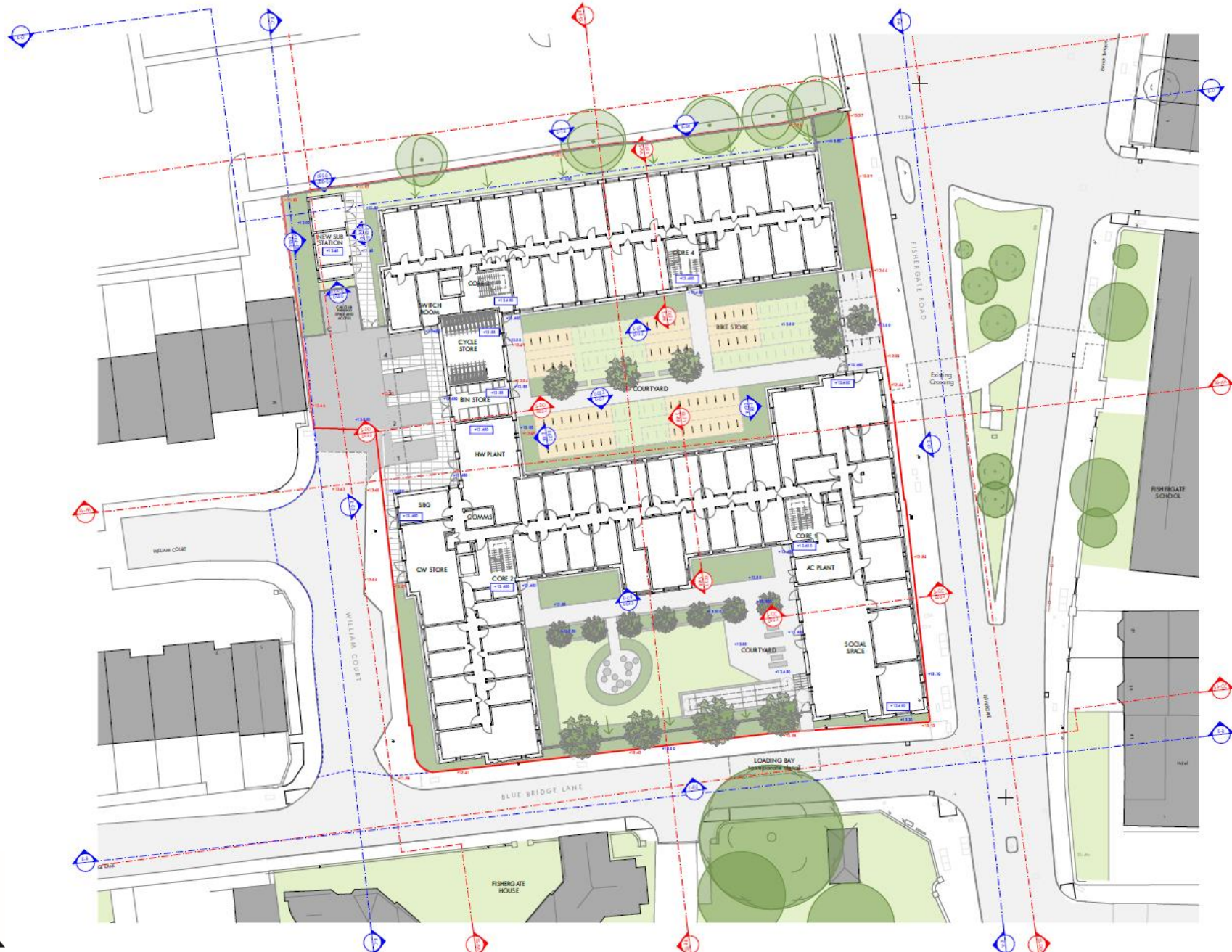
Rear Elevation Facing South/William Court



Front, Side and Rear of 25 William Court



# Proposed Site Plan



This drawing is the property of CWP Architects. The right to use the drawing is limited to the project and site for which it was prepared. It is not to be used for any other project without the written consent of CWP Architects. All drawings are the property of CWP Architects and shall remain the property of CWP Architects. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of CWP Architects. A scale in the corner of a drawing is a reference only and does not constitute a scale. The drawing is not to be used for any other project without the written consent of CWP Architects. The drawing is not to be used for any other project without the written consent of CWP Architects. The drawing is not to be used for any other project without the written consent of CWP Architects.

Scale: 1:500 (A1)

Application Site Boundary  
Extent of Site Title

NO.	DESCRIPTION	DATE	BY
1	Issue for Planning	15/11/21	AW
2	Issue for Planning	15/11/21	AW
3	Issue for Planning	15/11/21	AW
4	Issue for Planning	15/11/21	AW
5	Issue for Planning	15/11/21	AW
6	Issue for Planning	15/11/21	AW
7	Issue for Planning	15/11/21	AW
8	Issue for Planning	15/11/21	AW
9	Issue for Planning	15/11/21	AW
10	Issue for Planning	15/11/21	AW
11	Issue for Planning	15/11/21	AW
12	Issue for Planning	15/11/21	AW
13	Issue for Planning	15/11/21	AW
14	Issue for Planning	15/11/21	AW
15	Issue for Planning	15/11/21	AW
16	Issue for Planning	15/11/21	AW
17	Issue for Planning	15/11/21	AW
18	Issue for Planning	15/11/21	AW
19	Issue for Planning	15/11/21	AW
20	Issue for Planning	15/11/21	AW
21	Issue for Planning	15/11/21	AW
22	Issue for Planning	15/11/21	AW
23	Issue for Planning	15/11/21	AW
24	Issue for Planning	15/11/21	AW
25	Issue for Planning	15/11/21	AW
26	Issue for Planning	15/11/21	AW
27	Issue for Planning	15/11/21	AW
28	Issue for Planning	15/11/21	AW
29	Issue for Planning	15/11/21	AW
30	Issue for Planning	15/11/21	AW
31	Issue for Planning	15/11/21	AW
32	Issue for Planning	15/11/21	AW
33	Issue for Planning	15/11/21	AW
34	Issue for Planning	15/11/21	AW
35	Issue for Planning	15/11/21	AW
36	Issue for Planning	15/11/21	AW
37	Issue for Planning	15/11/21	AW
38	Issue for Planning	15/11/21	AW
39	Issue for Planning	15/11/21	AW
40	Issue for Planning	15/11/21	AW
41	Issue for Planning	15/11/21	AW
42	Issue for Planning	15/11/21	AW
43	Issue for Planning	15/11/21	AW
44	Issue for Planning	15/11/21	AW
45	Issue for Planning	15/11/21	AW
46	Issue for Planning	15/11/21	AW
47	Issue for Planning	15/11/21	AW
48	Issue for Planning	15/11/21	AW
49	Issue for Planning	15/11/21	AW
50	Issue for Planning	15/11/21	AW
51	Issue for Planning	15/11/21	AW
52	Issue for Planning	15/11/21	AW
53	Issue for Planning	15/11/21	AW
54	Issue for Planning	15/11/21	AW
55	Issue for Planning	15/11/21	AW
56	Issue for Planning	15/11/21	AW
57	Issue for Planning	15/11/21	AW
58	Issue for Planning	15/11/21	AW
59	Issue for Planning	15/11/21	AW
60	Issue for Planning	15/11/21	AW
61	Issue for Planning	15/11/21	AW
62	Issue for Planning	15/11/21	AW
63	Issue for Planning	15/11/21	AW
64	Issue for Planning	15/11/21	AW
65	Issue for Planning	15/11/21	AW
66	Issue for Planning	15/11/21	AW
67	Issue for Planning	15/11/21	AW
68	Issue for Planning	15/11/21	AW
69	Issue for Planning	15/11/21	AW
70	Issue for Planning	15/11/21	AW
71	Issue for Planning	15/11/21	AW
72	Issue for Planning	15/11/21	AW
73	Issue for Planning	15/11/21	AW
74	Issue for Planning	15/11/21	AW
75	Issue for Planning	15/11/21	AW
76	Issue for Planning	15/11/21	AW
77	Issue for Planning	15/11/21	AW
78	Issue for Planning	15/11/21	AW
79	Issue for Planning	15/11/21	AW
80	Issue for Planning	15/11/21	AW
81	Issue for Planning	15/11/21	AW
82	Issue for Planning	15/11/21	AW
83	Issue for Planning	15/11/21	AW
84	Issue for Planning	15/11/21	AW
85	Issue for Planning	15/11/21	AW
86	Issue for Planning	15/11/21	AW
87	Issue for Planning	15/11/21	AW
88	Issue for Planning	15/11/21	AW
89	Issue for Planning	15/11/21	AW
90	Issue for Planning	15/11/21	AW
91	Issue for Planning	15/11/21	AW
92	Issue for Planning	15/11/21	AW
93	Issue for Planning	15/11/21	AW
94	Issue for Planning	15/11/21	AW
95	Issue for Planning	15/11/21	AW
96	Issue for Planning	15/11/21	AW
97	Issue for Planning	15/11/21	AW
98	Issue for Planning	15/11/21	AW
99	Issue for Planning	15/11/21	AW
100	Issue for Planning	15/11/21	AW



CWA  
CITY OF YORK ARCHITECTS  
15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW

15/11/21  
AW



Proposed Site Plan

Issue: 2101-CWP-01-00-DR-A-PAJ-0010  
Scale: 1:500 (A1) Revision: 06/12  
Drawn/Checked: AW / AW Date Issue: 15/11/21  
Drawing Status: Planning

# Proposed Elevations – North and West



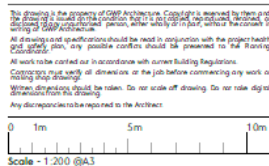
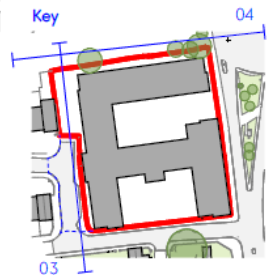
ELEVATION 03 - From William Court, Looking East



ELEVATION 04 - From Novotel Carpark, Looking South

### Materials Key

1. Light red multi-brick
2. Dark red multi-brick
3. Brass spandrel panel
4. Setback brick panel reveal detail
5. High performance PPC Aluminium window units, double glazed. External colour to match brass spandrel panel, RAL TBC (white internally).
6. Horizontal louvre. RAL TBC.
7. Standing seam zinc roof. RAL TBC.
8. Vertical metal railing. RAL TBC.
9. Feature horizontal band, Brick Soldier Course and recessed brick band.
10. Steel louvre external door. Colour to match windows, RAL TBC.
11. Feature brick chimney Brick type 1 / 2 as per elevation.
12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
13. Potential location for Public Art. Details TBC.



Rev	Date	Comment	Dr	Ch
PA11	22.11.21	Revised to comments.	CT	DT
PA10	05.11.21	Update to metal railing	CT	DT
PA09	04.11.21	Update to metal railing	CT	DT
PA08	05.10.21	Minor graphical amendments	DE	DT
PA07	28.09.21	Revised to comments regarding external door, substation amended	DE	DT
PA06	18.08.21	Revised to comments received from Fire Engineer	DE	DT
PA05	11.08.21	Substation location amended	DE	DT
PA04	13.07.21	Lift overrun metal cl added to key	DE	DT

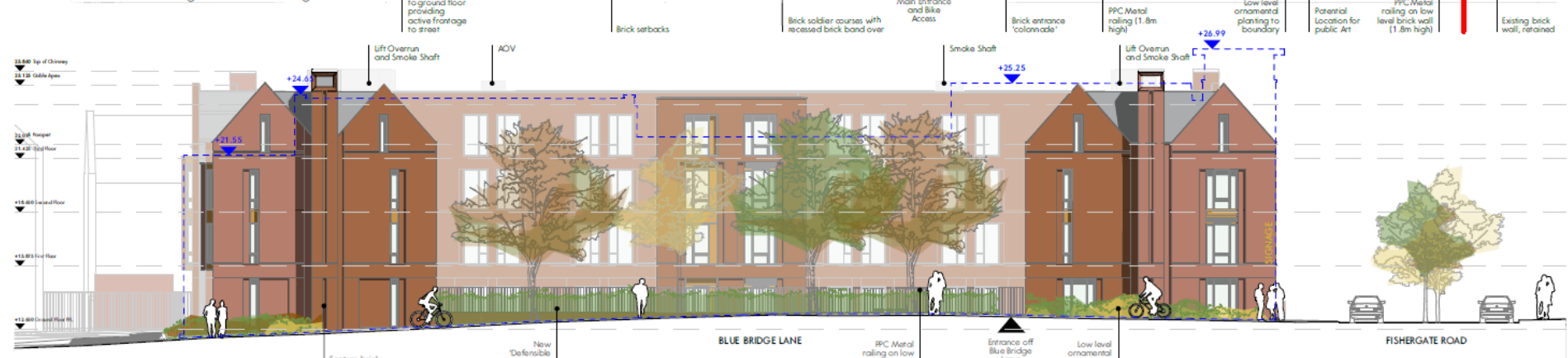
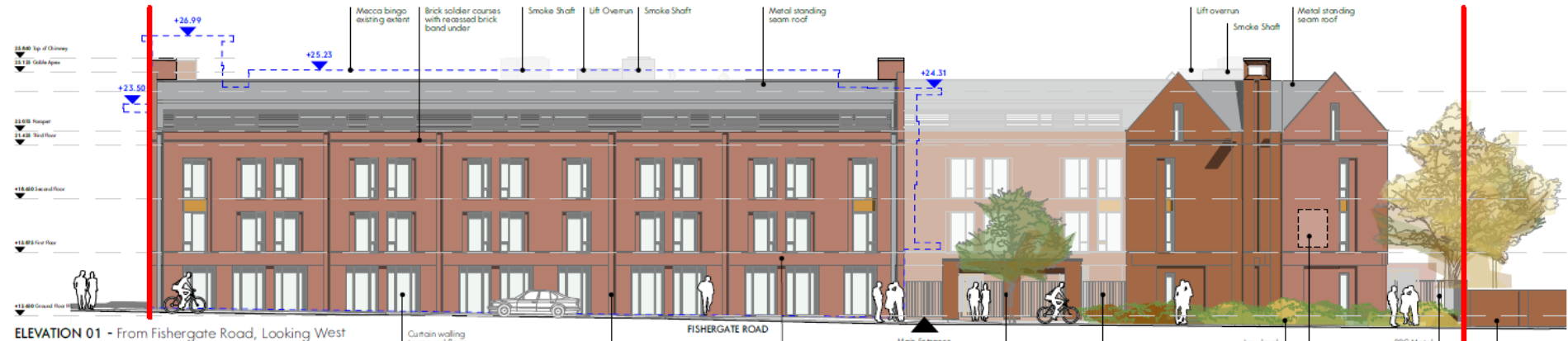
GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
 OLYMPIAN

Proposed Elevations 03, 04	
Name	2101-GWP-01-XX-DR-A-(PA)-0021
Scale	1:200@A3
Drawn/Checked	DE / DT
Revision	PA 11
First Issue	18.06.21
Drawing Status	D - Planning





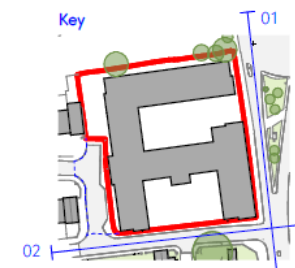
# Proposed Elevations – East and South



ELEVATION 01 - From Fishergate Road, Looking West  
ELEVATION 02 - From Bluebridge Lane, Looking North

**Materials Key**

1. Light red multi-brick.
2. Dark red multi-brick.
3. Brass spandrel panel
4. Setback brick panel reveal detail.
5. High performance PPC Aluminium window units, double glazed. External colour to match brass spandrel panel, RAL TBC (white internally).
6. Horizontal louvre. RAL TBC.
7. Standing seam zinc roof. RAL TBC.
8. Vertical metal railing. RAL TBC.
9. Feature horizontal band, Brick Soldier Course and recessed brick band.
10. Steel louvre external door. Colour to match windows, RAL TBC.
11. Feature brick chimney, Brick type 1 / 2 as per elevation.
12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
13. Potential location for Public Art. Details TBC.



This drawing is the property of GWP Architecture. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, loaned, or otherwise used in any way without the written consent of GWP Architecture. All drawings issued by GWP Architecture shall be made in conjunction with the project and shall not be used for any other purpose without the written consent of GWP Architecture. All work to be carried out in accordance with current Building Regulations. Contractors must verify all dimensions at the job before commencing any work or cutting into any structure. Written dimensions should be taken. Do not scale off drawing. Do not take digital measurements from the drawing. Any discrepancies to be reported to the Architects.

0 1m 5m 10m  
Scale - 1:200 @A3

Rev	Date	Comment	Dr	Ch
PA11	22.11.21	Revised to comments.	CT	DT
PA10	05.11.21	Landscape revised to comments.	CT	DT
PA09	04.11.21	Landscape revised to comments.	CT	DT
PA08	05.10.21	Minor graphical amendments.	DE	DT
PA07	28.09.21	Revised to comments received. Gables revised. Substation Amended. REVISIONS COMPLETE Followed from Fire Engineer.	DE	DT
PA06	18.08.21	Substation location amended.	DE	DT
PA05	11.08.21	Substation location amended.	DE	DT
Rev	Date	Comment	Dr	Ch

Received by City of York Council on 22/11/2021. Issued by GWP Architecture on 22/11/2021.

GWP job reference (451)2101  
Rialto House, Fishergate, York

**Proposed Elevations 01, 02**

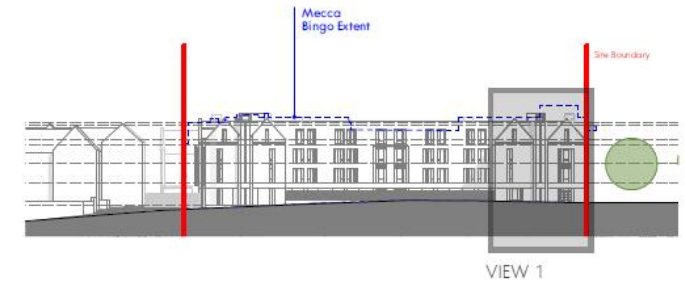
Name: 2101-GWP-01-XX-DR-A-(PA)-0020  
Scale: 1:200@A3  
Revision: PA.11  
Drawn/Checked: DE / DT  
Drawing Date: 18.06.21  
Drawing Status: D - Planning



GWP ARCHITECTS  
INTERIOR DESIGNERS  
SPACE PLANNERS  
PROJECT MANAGERS  
LANDSCAPE ARCHITECTS

Studio: 100a, Lodge Lane, Leeds LS2 8PD  
+44(0)1539 2644044 | +44(0)1539 268 1859 |  
info@gwpa.co.uk | www.gwpa.co.uk

# Large Scale Details and materials – Fishergate, Blue Bridge Lane corner



This drawing is the property of GWP Architecture. Copyright is reserved by them and the drawing is issued on their creation. Where it is not their own, it is the work of GWP Architecture. All drawings and specifications should be read in conjunction with the project brief and any other documents. Any work to be carried out in accordance with current Building Regulations. Contractors must verify all dimensions at the job before commencing any work or making shop drawings. Where dimensions should be taken. Do not scale off drawings. Do not take digital dimensions from this drawing. Any other requirements to be referred to the Architect.

Rev	Date	Comment	Dr	Ch
PA04	30.09.21	Revised in line with amendments to elevations	DE	DT
PA03	13.07.21	Notes revised	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final issue	DE	DT

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
**OLYMPIAN**

Bay / Materials Study 02	
Name	2101-GWP-01-XX-DR-A-(PA)-0041
Scale	VARIABLE
Revision	PA.04
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



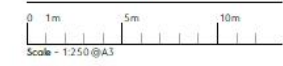


# Proposed Ground Floor



This drawing is the property of GWP Architects. Copyright is reserved by GWP Architects. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GWP Architects.

All drawings and specifications should be read in conjunction with the project brief and any other documents. Any discrepancy should be resolved in favour of the project brief. Any drawings to be prepared in the future should be based on this drawing. All work to be carried out in accordance with current Building Regulations. Contractors must verify all dimensions at the job before commencing any work or making any drawings. Where dimensions conflict, the drawing shall prevail. Do not scale off drawings. Do not make slight adjustments from this drawing. Any discrepancies to be reported to the Architect.



**KEY**

- Social Space - 336m<sup>2</sup>
- Plant - 175m<sup>2</sup>
- Vertical Circulation / Cores
- Cluster Social Kitchens
- Studio Room - Varies 22 No.
- DDA Studio Room - ~31.2m<sup>2</sup> 1 No.
- Cluster Bedroom - 12.5m<sup>2</sup> 27 No.

Total: 50 No.

Cycle Storage 168 Spaces (61.09%)  
 Future Cycle Storage 168+ 94 Spaces = 262 (95.27%)

- ▼ Building Entrance / Egress
- ▼ Cycle Access via Gate
- ▼ Maintenance access off Blue Bridge Lane

Rev	Date	Comment	Dr	Ch
IK13	22.11.21	Revised to comments	CT	RT
IK12	04.11.21	Cycle layout amended	CT	RT
IK11	05.10.21	Cycle layout amended	DE	RT
IK10	30.09.21	Cycle access via gate indicated	DE	RT
IK09	23.09.21	Revised to comments. Cycle amended. Substation location and size amended.	DE	CT
IK08	11.08.21	Substation location amended	FF	DE
IK07	30.06.21	Cycle parking note revised	DE	RT
IK06	29.06.21	Cycle parking revised	DE	RT
IK05	28.06.21	Energy centre confirmed. Smoke shaft location now accepted	DE	RT



**GWP ARCHITECTS**  
 INTERIORS  
 EXTERIORS  
 PROJECT MANAGERS  
 LANDSCAPE ARCHITECTS

Broken House, 14 Green Lane, Leeds LS2 8PQ  
 +44(0)1539 436611 | +44(0)1539 436611  
 arch@gwpa.co.uk | www.gwpa.co.uk

Job Title: (451)2101  
 Rialto House, Fishergate, York

**OLYMPIAN**

Proposed Ground Floor Plan	
Name	2101-GWP-01-00-DR-A-(PA)-0012
Scale	1:250@A3
Revision	PA   3
Drawn/Checked	DE/DT
Final Issue	18.06.21
Drawing Status	D - Planning









# Proposed Second Floor Plan



This drawing is the property of GWP Architects. Copyright is reserved by them and no part of it may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GWP Architects.

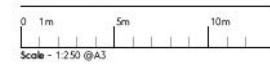
All work to be carried out in accordance with current Building Regulations.

Contractors must check all dimensions or the job before commencing any work or where dimensions should be stated.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.



**KEY**

<span style="color: red;">█</span>	Vertical Circulation / Cores	
<span style="color: lightgreen;">█</span>	Cluster Social Kitchens	
<span style="color: olive;">█</span>	Studio Room - Varies	21 No.
<span style="color: yellow;">█</span>	DDA Studio Room - ~3.1m <sup>2</sup>	1 No.
<span style="color: blue;">█</span>	Cluster Bedroom - 12.5m <sup>2</sup>	59 No.
	<b>Total:</b>	<b>81 No.</b>

Rev	Date	Comment	Dr	Ch
PA08	22.11.21	Revised to comments	CT	KT
PA07	05.10.21	Revised to reflect changes to drawings 05/12	DE	DT
PA06	30.09.21	Revised to comments received from Fire Engineer	DE	DT
PA05	24.09.21	Revised to comments. Cables amended. Substation location and size amended.	DE	DT
PA04	11.04.21	Substation location amended	FF	DE
PA03	29.04.21	Energy centre omitted. Smoke shaft and service riser swapped.	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final Issue	DE	DT
Rev	Date	Comment	Dr	Ch



GWP ARCHITECTS  
ARCHITECTS & DESIGNERS  
PROJECT MANAGERS  
LANDSCAPE ARCHITECTS

Rialto House, Hightown Lane, Leeds LS10 1BQ  
+44(0)113 266 0444 | +44(0)113 266 1019  
office@gwparchitects.com | www.gwp-arch.com

Job Title: (45)112101

Job Title: Rialto House, Fishergate, York

Client: OLYMPIAN

**OLYMPIAN**

Proposed Second Floor Plan

Name	2101-GWP-01-02-DR-A-(PA)-0014
Scale	1:250@A3
Revision	PA08
Drawn/Checked	DE/DT
Final Issue	18.06.21

Drawing Status: D - Planning



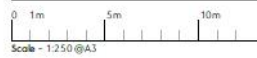
City of York Council Planning Committee Meeting - 2nd December 2021



# Proposed Third Floor Plan



This drawing is the property of GWP Architecture. Copyright is reserved by them and the drawing is loaned to the consultant for their use only. It shall not be used, copied, or altered in any way without the written consent of GWP Architecture. All drawings and specifications shall be read in conjunction with the project specification. Any possible omissions shall be directed to the drawing. All work to be carried out in accordance with current building regulations. Contractors must verify all dimensions at the job before commencing any work or making any alterations. Written dimensions should be taken. Do not scale off drawing. Do not take digital dimensions from this drawing. Any discrepancies shall be reported to the Architect.



— Site Development Boundary  
 - - - Extent of Site Title

**KEY**

- Vertical Circulation / Cores
- Cluster Social Kitchens
- Studio Room - Varies 14 No.
- DDA Studio Room - ~27.7m<sup>2</sup> 1 No.
- Cluster Bedroom - Varies 48 No.
- Total: 63 No.

Rev	Date	Comment	Dr	Ch
PK10	22.11.21	Revised to comments	CT	RT
PK09	05.10.21	Revised to reflect changes to drawing 03.03	DE	DT
PK08	30.09.21	Revised to comments received from Fire Engineer	DE	DT
PK07	24.09.21	Revised to comments. Substation amended. Substation location and size amended.	DE	DT
PK06	18.08.21	Revised to comments received from Fire Engineer	DE	DT
PK05	11.08.21	Substation location amended	FF	DE
PK04	29.06.21	Energy centre amended. Smoke shaft and service riser amended.	DE	DT
PK03	23.06.21	Revised to comments	DE	DT
PK02	22.06.21	Roof lights to kitchens added	DE	DT
PK01	14.06.21	Final issue	DE	DT



GWP ARCHITECTS  
 INTERIORS  
 PROJECT MANAGERS  
 LANDSCAPE ARCHITECTS

Broken House, Lidgett Lane, Leeds LS15 7RQ  
 +44(0)113 266 0004 | +44(0)113 268 1809 |  
 gwp@wpagwp.com | www.gwpagwp.com

GWP Job Reference: (451)2101

Job Title: Rialto House, Fishergate, York



Proposed Third Floor Plan

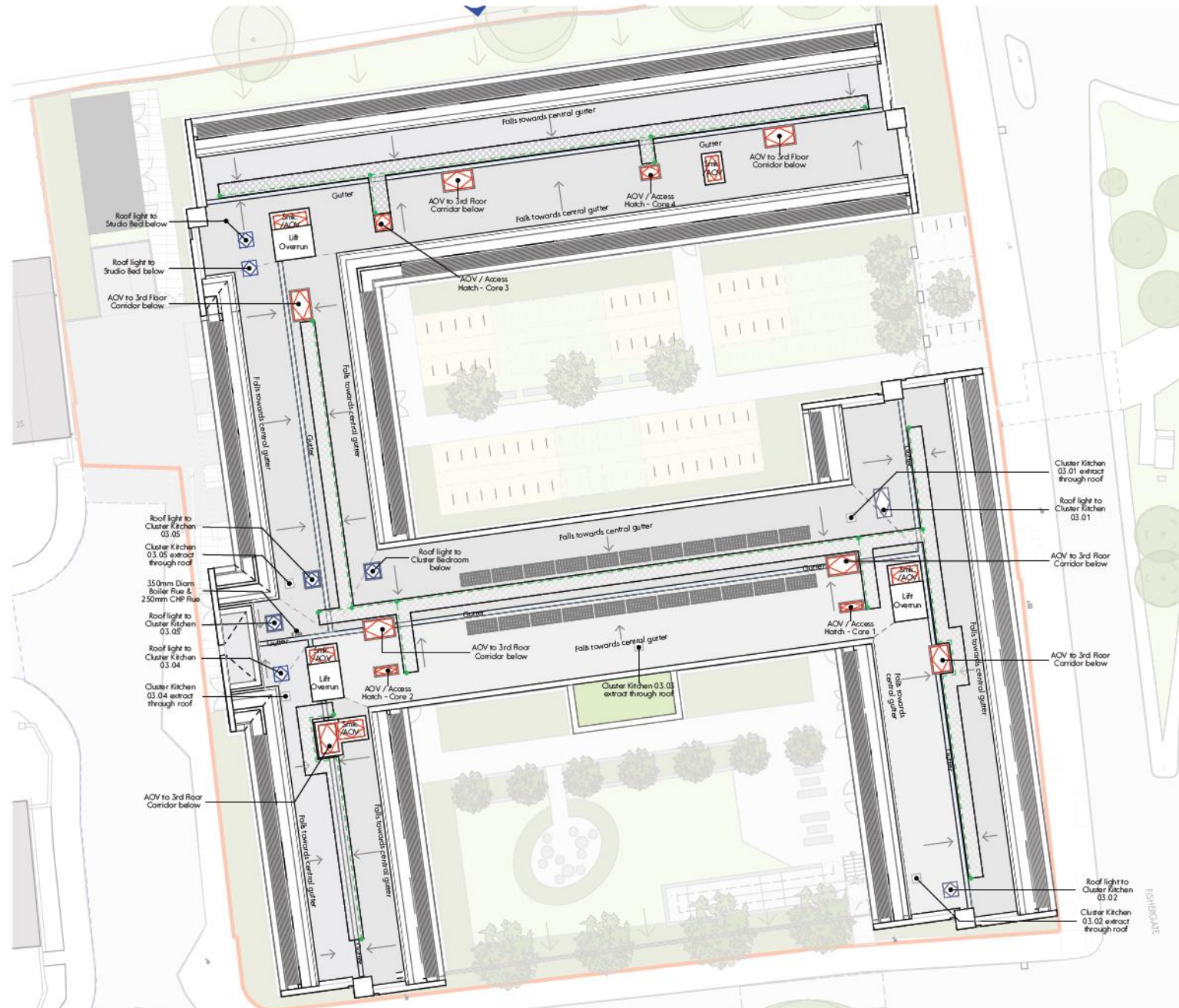
Name:	2101-GWP-01-03-DR-A-(PA)-0015		
Scale:	1:250@A3	Revision:	PA10
Drawn/Checked:	DE/DT	Final Issue:	18.06.21
Drawing Status:	D - Planning		

© Crown Copyright and Database Right. All Rights Reserved. Ordnance Survey Licence No. 100019000. Scale: 1:250. Job Reference: 2101-GWP-01-03-DR-A-(PA)-0015

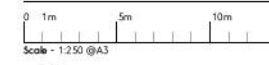




# Proposed Roof Plan



This drawing is the property of GWP Architecture. It shall not be used for any other project without the written consent of GWP Architecture. All drawings and specifications shall be read in conjunction with the Contract Conditions. All work is for current construction with current building regulations. Contractors must verify all dimensions on site before commencing any work or making any decisions. Where dimensions should be verified. Do not scale off drawing. Do not make slight alterations from this drawing. Any discrepancies to be reported to the Architect.



- Site Development Boundary
- Extent of Site Title
- Roof access walkway
- Fall Arrest System - Design and detail by specialist
- Drainage gutter
- Drainage falls - as indicated
- AOV to smokeshaft - Serving up to Second Floor
- Combined AOV/Roof Access Hatch to stair cores
- PV Panels - 22 No. 2094 x 1038mm @ 30°
- Roof Light

Rev	Date	Comment	Dr	Ch
IN10	22.11.21	Revised to comments	CI	DT
IN09	05.10.21	Revised to reflect changes to drawing 0012	DE	DT
IN08	24.09.21	Revised to comments. Cables amended. Substation location and size amended	DE	DT
IN07	18.08.21	Revised to comments received from Fire Engineer	DE	DT
IN06	11.08.21	Substation location amended	FF	DE
IN05	28.06.21	Core 3 Smoke shaft relocated	DE	DT
IN04	25.06.21	PV quantity confirmed	DE	DT
IN03	23.06.21	Revised to comments	DE	DT
IN02	22.06.21	Roof lights to kitchens added	DE	DT
IN01	18.06.21	First Issue	DE	DT

GWP ARCHITECTURE  
CHAMBERS ARCHITECTS  
SINCE 1870 ARCHITECTS  
ROBERT HARRISON  
LANDSCAPE ARCHITECTS

88-90 Leazes Road, Leazes Park, Leeds LS2 9PZ  
+44(0)113 266 0554 (F) +44(0)113 266 1000 (P)  
0113 266 0554 (M) | www.gwp-arch.com

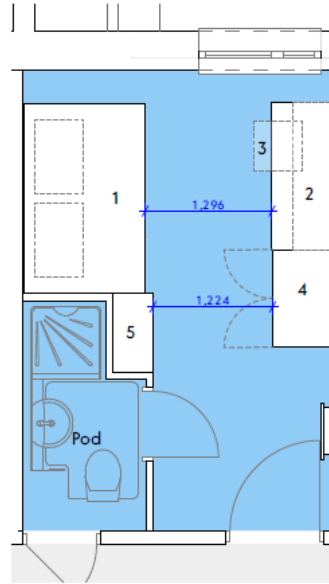
Job Title  
Rialto House, Fishergate, York

OLYMPIAN

Proposed Roof Plan			
Name	21 01 - GWP-01-04-DR-A-(PA)-0016		
Scale	1:250@A3	Revision	PAJ 0
Drawn/Checked	DE/DT	First Issue	18.06.21
Drawing Status	D - Planning		

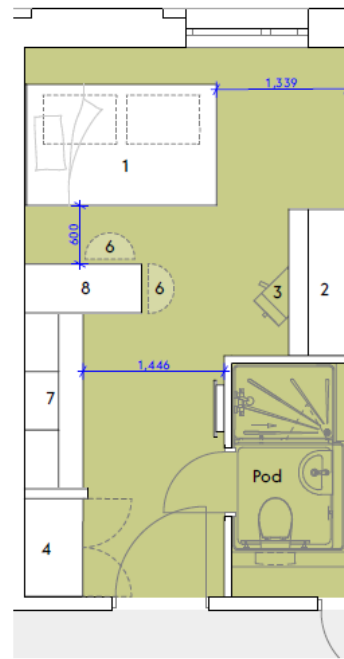


# Typical Bedroom Types



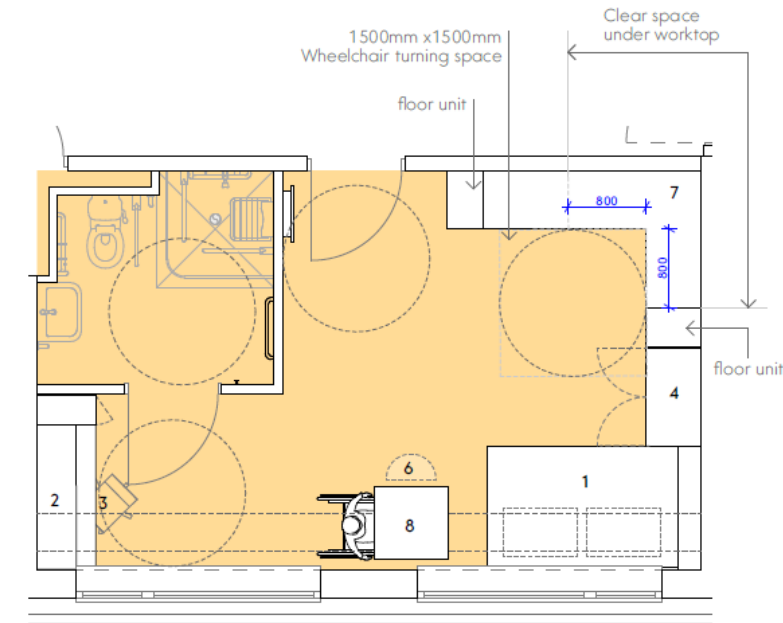
Typical Cluster Study Bedroom - 190 No.  
Unit Shown 12.5m<sup>2</sup>

Cluster Study Bedroom		
TYPE	Area	Quantity
TYPE 01	12.5m <sup>2</sup>	160
TYPE 02	13.2m <sup>2</sup>	17
TYPE 03	17.6m <sup>2</sup>	1
TYPE 04	21.1m <sup>2</sup>	1
TYPE 05	14.8m <sup>2</sup>	11



Typical Studio Bedroom - 82 No.  
Unit Shown 18m<sup>2</sup>

Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	18m <sup>2</sup>	67
TYPE 02	20.6m <sup>2</sup>	12
TYPE 03	29.2m <sup>2</sup>	1
TYPE 04	18.9m <sup>2</sup>	1
TYPE 06	31.0m <sup>2</sup>	1



Typical DDA Studio Bedroom - 4 No.  
Unit Shown 27.8m<sup>2</sup>

DDA Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	26.5m <sup>2</sup>	3
TYPE 02	27.8m <sup>2</sup>	1

### List of furniture:

1. double bed
2. desk
3. chair
4. wardrobe
5. shelving unit
6. potential chairs
7. kitchenette
8. table



This drawing is the property of GWP Architecture. Copyright is reserved by them and the drawing is limited to the location, time and the original approved, intended or disclosed GWP Architecture person, either wholly or in part, without the consent in writing of GWP Architecture.

All drawings and specifications should be read in conjunction with the project health and safety plan, any possible conflicts should be presented to the Planning Officer.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions at the job before commencing any work or making shop drawings.

Written dimensions should be taken. Do not scale off drawing. Do not take digital dimensions from the drawing.

Any discrepancies to be reported to the Architect.

Scale - 1:50 @A3

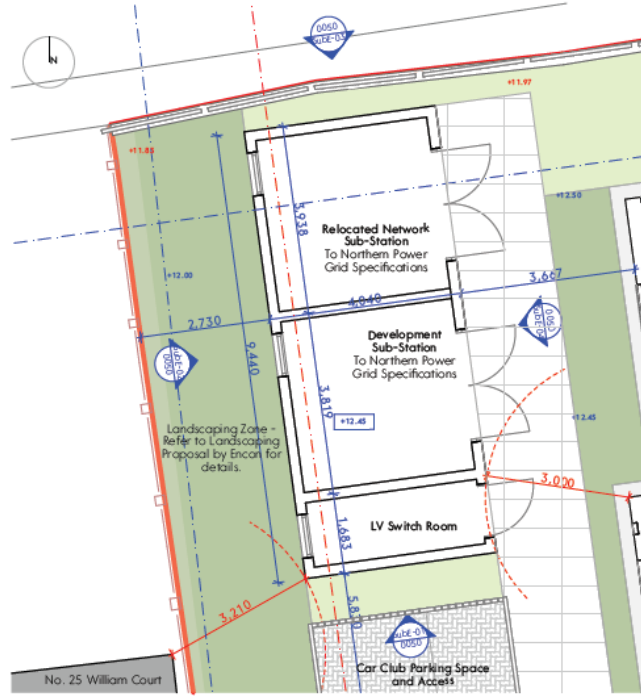
Rev	Date	Comment	Dr	Ch
PA05	29.09.21	Room quantum's updated inline with revised plans	DE	DT
PA04	12.09.21	General update	CI	CI
PA03	30.04.21	Scale note revised	DE	DT
PA02	23.04.21	Revised to comments	DE	DT
PA01	18.06.21	First issue	DE	DT

GWP Job Reference: (451)2101  
Job Title: Rialto House, Fishergate, York

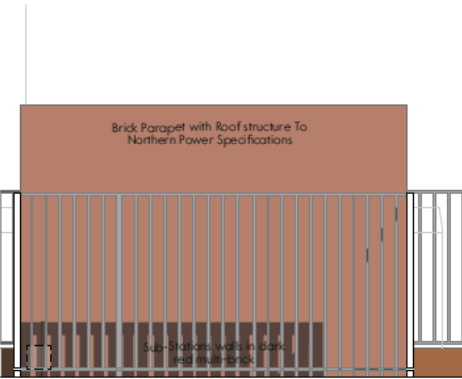
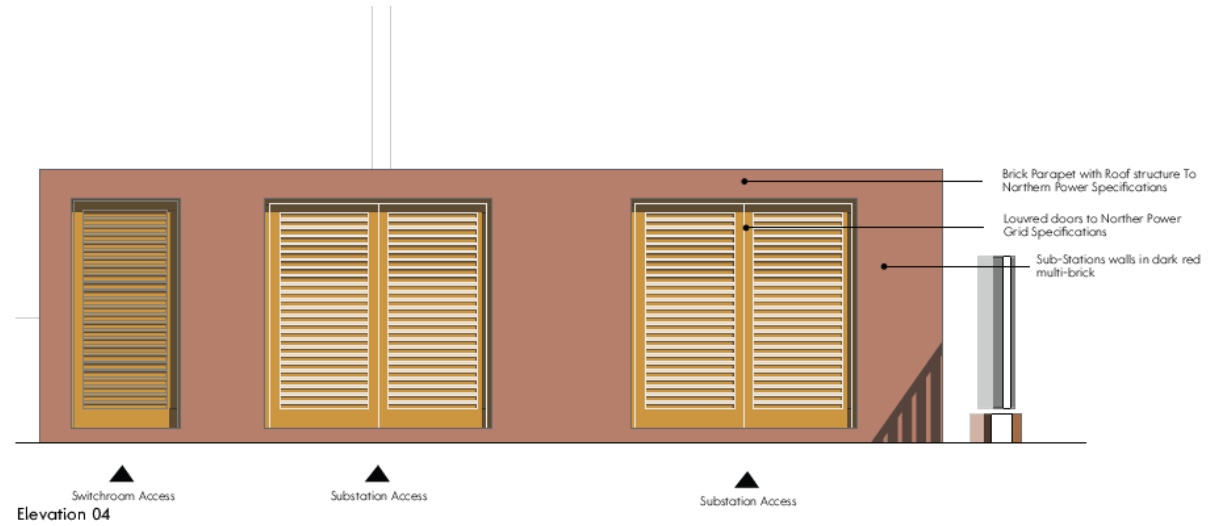
Typical Bedroom Types	
Name	2101-GWP-01-XX-DR-A-(PA)-0060
Scale	1:50@A3
Revision	PA05
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



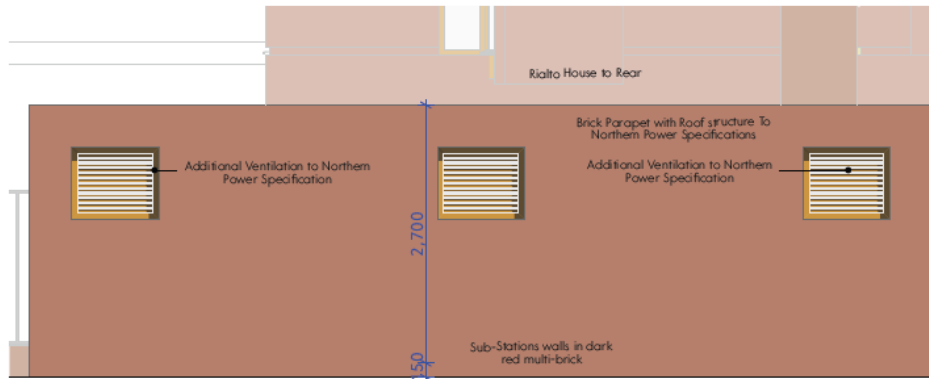
# Proposed Sub Station



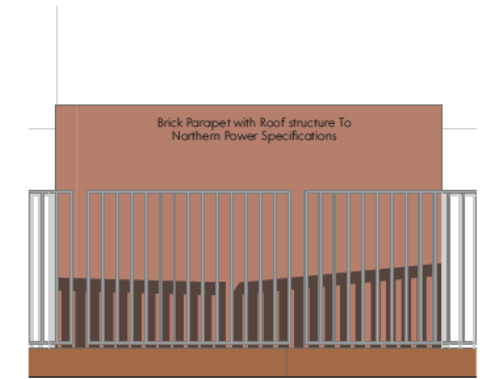
Sub-Station - Ground Floor Plan



Elevation 01



Elevation 02



Elevation 03



This drawing is the property of GWP Architects. Copyright is reserved to them and the drawing is made under license. It is to be used for the purposes specified or any other purpose without the written consent of GWP Architects. All drawings and specifications shall be read in conjunction with the project brief and any other documents. All work to be carried out in accordance with current building regulations. Contractors shall verify all dimensions on the job before commencing any work or making any alterations. Where necessary, scales to refer to. Do not scale off drawing. Do not make digital alterations from this drawing. Any discrepancies to be reported to the Architect.

0 1m 2m  
Scale - 1:50 @A3

City of York Council Planning Committee Meeting - 2nd December 2021

Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Minor Graphical Amendments	DE	RT
PA05	29.09.21	Updated to reflect design development	IF	DE
PA04	11.08.21	Substation location amended	IF	DE
PA03	30.04.21	Scale notes revised	DE	RT
PA02	23.04.21	Revised to comments	DE	DT
PA01	18.04.21	First issue	DE	DT

GWP Architecture  
(45)12101

Rialto House, Fishergate, York

OLYMPIAN

Proposed Sub Station	
Name	2101-GWP-01-00-DR-A-(PA)-0050
Scale	1:50@A3
Revision	PA.06
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning







# Existing and Proposed Render (1)

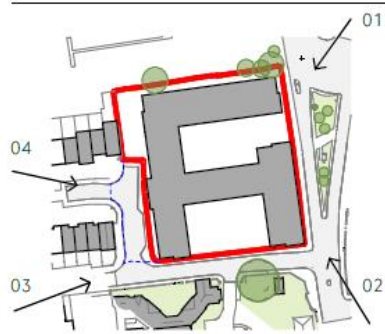


Existing View



Proposed View 01 Looking South From Fishergate Road

### Key



This drawing is the property of GWP Architecture. Copyright is reserved by them and the drawing is issued on the condition that it is not copied, reproduced, changed, or disclosed to any unauthorised person, either wholly or in part, without the consent in writing of GWP Architecture.  
 All drawings and specifications should be read in conjunction with the project health and safety plan, any possible conflicts should be presented to the Drawing Coordinator.  
 All work to be carried out in accordance with current Building Regulations.  
 Contractors must verify all dimensions on the job before commencing any work or making shop drawings.  
 Copy should be taken. Do not scale off drawing. Do not make digital copies.  
 This drawing is to be returned to the Architect.



PA04	05.10.21	Formal issue	DE	DI
PA03	24.09.21	Issued for comments - Draft issue	DE	DI
PA02	23.05.21	Revised to comments	DE	DI
PA01	18.06.21	First issue	DE	DI
Rev	Date	Comment	Dr	Ch

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
 Client: OLYMPIAN

<b>Render 1</b>	
Name	2101-GWP-01-XX-VS-A-(PA)-0045
Scale	N/A
Revision	PA/04
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



GWP ARCHITECTS  
 INTERIOR DESIGNERS  
 SPACE PLANNERS  
 PROJECT MANAGERS  
 LANDSCAPE ARCHITECTS

Rialto House, 106-108, London Road, Leeds LS1 5JG  
 +44(0)113 266 66 66 | +44(0)113 266 1859 (F)  
 architecture@gwp-arch.com | www.gwp-arch.com



# Existing and Proposed Render (2)

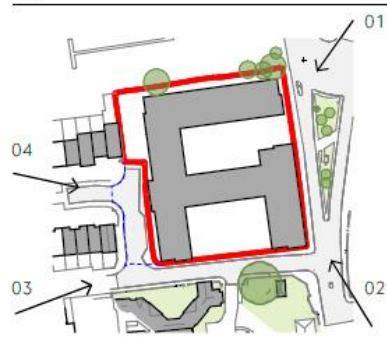


Existing View



Proposed View 02 Looking West Down Blue Bridge Lane

Key



This drawing is the property of GWP Architecture. Copyright is reserved by them and it shall remain their property. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GWP Architecture. All work shall be carried out in accordance with current Building Regulations. Contractors must verify all dimensions on the job before commencing any work or using any equipment. Do not scale off drawing. Do not take digital transmission from this drawing. Corrections to be reported to the Architect.



Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Formal issue	DE	DI
PA03	28.09.21	Issued for comments - Draft Issue	DE	DI
PA02	23.06.21	Revised to comments	DE	DI
PA01	18.06.21	First Issue	DE	DI

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
 OLYMPIAN

Render 2	
Name: 2101-GWP-01-XX-VS-A-(PA)-0046	
Scale: N/A	Revision: PA.04
Drawn/Checked: DE / DI	First Issue: 18.06.21
Drawing Status: D - Planning	



# Existing and Proposed Render (3)

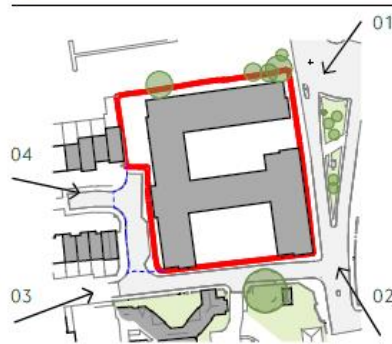


Existing View



Proposed View 03 Looking East Down Blue Bridge Lane

### Key



This drawing is the property of GWP Architects. Copyright is reserved by them and no part of it shall be reproduced, stored in a retrieval system, published, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the express written permission of GWP Architects.  
 If drawings and specifications should be read in conjunction with the project health and safety plan, any possible conflicts should be preserved to the drawing standards.  
 If work is to be carried out in accordance with current Building Regulations, and/or on the job before commencing any work or other, do not scale off drawing. Do not take digital photos of the drawing.



Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Formal issue	DE	DT
PA03	28.09.21	Issued for comments - Draft issue	DE	DT
PA02	23.04.21	Revised to comments	DE	DT
PA01	18.04.21	First issue	DE	DT

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
 Client: OLYMPIAN

Render 3			
Name: 2101-GWP-01-XX-VS-A-(PA)-0047			
Scale: N/A	Revision: PA04		
Drawn/Checked: DE / DT	First Issue: 18.04.21		
Drawing Status: D - Planning			

**GWPA**  
 CHARLTON ARCHITECTS  
 HERIOT'S DESIGNERS  
 SPACE PARTNERS  
 PROJECT MANAGERS  
 LANDSCAPE ARCHITECTS  
 Rialto House, 147-149 York Road, LS1 1QB  
 +44(0)113 266 60 44 (F) +44(0)113 268 1859 (M)  
 architecture@gwp-arch.com | www.gwp-arch.com



# Existing and Proposed Render (4)

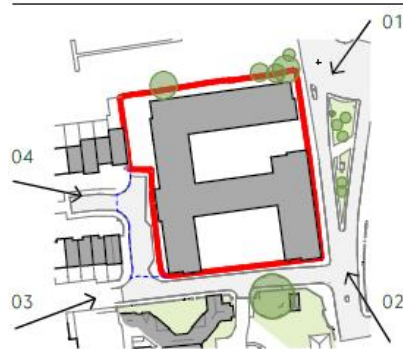


Existing View



Proposed View 04 Looking East From William Court

### Key



Planning is the property of GMP Architecture. Copyright is reserved by them and they will not be held responsible for any errors, omissions, or inaccuracies in this document. GMP Architecture, its directors, employees, agents, consultants, subcontractors, and any other persons, either jointly or severally, shall be deemed to have accepted the responsibility for the accuracy and completeness of the information contained in this document. It is the responsibility of the client to ensure that the information provided is accurate and complete. This document should be read in conjunction with the project brief and specifications. It should be presented to the Planning Authority for their consideration.

in accordance with current Building Regulations, the job before commencing any work or for scale off drawing. Do not rely on digital images.



Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Formal issue	DE	DT
PA03	28.09.21	Issued for comments - Draft issue	DE	DT
PA02	23.08.21	Revised to comments	DE	DT
PA01	18.06.21	First issue	DE	DT

GMP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York



Render 4	
Name	2101-GWP-01-XX-VS-A-(PA)-0048
Scale	N/A
Revision	PA04
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



GMP ARCHITECTS  
 INTERIORS DESIGNERS  
 SPACE PLANNERS  
 PROJECT MANAGERS  
 LANDSCAPE ARCHITECTS

Rialto House, Lidgate Lane, Leeds LS8 1PG  
 +44(0)113 266 66 66 | +44(0)113 266 1809 |  
 info@gmppa.co.uk | www.gmp.co.uk